

17931 64th AVE W, LYNNWOOD, WASHINGTON 98037

ABBREVIATIONS			
AB BARRIER (WRB)	WEATHER RESISTIVE BARRIER/AIR	M, MIRR	MIRROR
AFF	ABOVE FINISHED FLOOR	MAT	MAINTENANCE
AHU	AIR HANDLING UNIT	MAX	MATERIAL
ALT	ALTERNATE	MB	MAXIMUM
ALUM	ALUMINUM	MECH	MARKER BOARD
ARCH	ARCHITECTURAL	MET	MECHANICAL
		MFR	METAL
		MIN	MANUFACTURER
BLDG	BUILDING	MISC	MINIMUM
BRG	BEARING	MISCR	MISCELLANEOUS
		MR	MOISTURE RESISTANT
CAB	CABINET	MT	MOUNT, MOUNTED
CP	CAST IN PLACE	MS	METAL SHELING
CG	CORNER GUARD	MTL	METAL
CL	CENTER LINE		
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR, CLEARANCE	NTS	NOT TO SCALE
CONC	CONCRETE		
CONST	CONSTRUCTION	O.C.	ON CENTER
CONT	CONTINUOUS		
COL	COLUMN	PB	PANIC BAR
CUST	CUSTODIAN	PC	POWDER COAT
		PER, PERM	PERIMETER
DBL	DOUBLE	P-LAM, PLAM	PLASTIC LAMINATE
DEMO	DEMOLISH, DEMOLITION	PLYWOOD	PLYWOOD
DET	DETAIL	PR	PAIR
DF	DRINKING FOUNTAIN	PREF	PREFINISHED
DIAG	DIAGONAL	PROP	PROPERTY
DIA	DIAMETER	PT	PAINT
DIM	DIMENSION	P.T.	PRESSURE TREATED
DIV	DIVISION	PTD	PAPER TOWEL DISPENSER
DTL	DETAIL	PTN	PARTITION
DR	DOOR		
DWG	DRAWING	QTY	QUANTITY
(E), E.	EXIST, EXISTING	RB	RUBBER BASE
EA	EACH	RECEP	RECEPTACLE
EL, ELEV	ELEVATION	REF	REFERENCE, REFRIGERATOR
EQ	EQUAL	RES	RESILIENT
EW	EACH WAY	REQ, REQ'D	REQUIRE, REQUIRED
EXT	EXTERIOR	REV	REVISION, REVISED
		RM, RMS	ROOM, ROOMS
FA	FIRE ALARM	RO	ROUGH OPENING
FAA	FIRE ALARM ANNUNCIATOR		
FAC, FF	FACTORY FINISH	SAF	SELF-ADHERED FLASHING
FAP	FIRE ALARM PANEL	SAN	SANITARY
FE	FIRE EXTINGUISHER	SAV	STAIN AND VARNISH
FEC	FIRE EXTINGUISHER CABINET	SCW	SOLID CORE WOOD
FOIC	FURNISHED BY OWNER — INSTALLED BY CONTRACTOR	SCD	SEAT COVER DISPENSER
FRP	FIBERGLASS REINFORCED PANEL	SD	SOAP DISPENSER
FT	FOOT	SEAL	SEALED CONCRETE
		SECT	SECTION
GA	GAUGE	SF	SQUARE FEET
GB	GRAB BAR	SG	SAFETY GLAZING
GL	GLASS, GLAZING	SHT	SHEET
GWB	GYPSPUM WALLBOARD	SIM	SIMILAR
		SND, SNCS	SANITARY NAPKIN DISPOSAL
HDW	HARDWARE	SS	SPECIFICATIONS
HM	HOLLOW METAL	ST, STL	STAINLESS STEEL
HORIZ	HORIZONTAL	STD	STANDARD
HT	HEIGHT	STOR	STORAGE
HVAC	HEATING/VENTILATION/AIR CONDITIONING	STRUCT	STRUCTURAL
HW	HOT WATER	SUSP	SUSPENDED
INCL	INCLUDE	THRU	THROUGH
INFO	INFORMATION	TP	TOILET PAPER DISPENSER
INSUL	INSULATION	TYP	TYPICAL
INT	INTERIOR		
		UNO	UNLESS NOTED OTHERWISE
JAN	JOINTOR	UR	URINAL
JST	JOIST		
JT	JOINT	VERT	VERTICAL
LAM	LAMINATE	W/	WITH
LAV	LAVATORY	W/O	WITHOUT
LOC	LOCATION	W/R	WATER RESISTANT
LVR	LOUVER	WB	WHITE BOARD
		WC	WATER CLOSET
		WD	WOOD
		WF	WOOD FINISH
		WP	WATERPROOFING
		WR	WATER RESISTANT
		WRB	WEATHER RESISTIVE BARRIER

REFERENCE SYMBOLS			
KEY NOTE		DECORATIVE STEEL PANEL	
ROOM NAME		WALL SECTION REFERENCE	
DOOR NUMBER		WALL TYPE REFERENCE	
GRID LINES AND REFERENCE		OPERABLE PARTITION	
DETAIL REFERENCE		FRAME TYPE REFERENCE	
BUILDING SECTION REFERENCE		INTERIOR ELEVATION REFERENCE	

CODES	
	LYNNWOOD MUNICIPAL CODE 2018 WASHINGTON STATE BUILDING CODE (2018 IBC WITH AMENDMENTS) 2018 INTERNATIONAL MECHANICAL CODE (IMC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE FIRE CODE (IFC 2018 WITH AMENDMENTS) 2018 WASHINGTON STATE PLUMBING CODE NATIONAL ELECTRIC CODE (NEC) CURRENT EDITION* 2018 WASHINGTON STATE ENERGY CODE (ECC 2015 WITH AMENDMENTS) 2009 ACCESSIBILITY CODE ICC/ANSI A117.1 *CURRENT WASHINGTON STATE AMMENDMENTS
	<u>USE GROUP (IBC CHAPTER 3)</u> E EDUCATION (SECTION 303.1 EXCEPTION 4)
	<u>TYPE OF CONSTRUCTION (IBC CHAPTER 6)</u> NEW CONSTRUCTION: VB
PROJECT TEAM	
	OWNER CEDAR PARK CHRISTIAN SCHOOLS 16300 112th AVE NE, BOTHELL, WASHINGTON 98011 253-259-4887 MARK KIRKLAND
	ARCHITECT CORNERSTONE ARCHITECTURAL GROUP 6161 175TH STREET, SUITE 101 KENMORE, WA 98028 206-0692-5000 STEVE BARNES
	TERRAFORMA DESIGN GROUP LLC 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 PEDRO DEGUZMAN
	LANDSCAPING TERRAFORMA DESIGN GROUP LLC 5027 51ST AVENUE SW SEATTLE, WA 98136 206-923-0590 AKEMI DEGUZMAN
	CIVIL STRUCTURAL PETERSON, STREHLE, MARTINSON, INC. 2200 SIXTH AVE., SUITE 601 SEATTLE, WA 98121 206-622-4580 DAVID STUBBS
	MECHANICAL WOOD HARBINGER INC. 929 108th ave NE, STE 100 BELLEVUE, WA 98004 425-628-6042 PAUL GREENWALT
	ELECTRICAL WOOD HARBINGER INC. 929 108th AVE NE, STE 100 BELLEVUE, WA 98004 425-628-6051 SEAN BOLLEN
	GEOTECH THE RILEY GROUP INC. 17522 BOTHELL WAY NE BOTHELL, WA 98011 425-415-0551 RICKY WANG

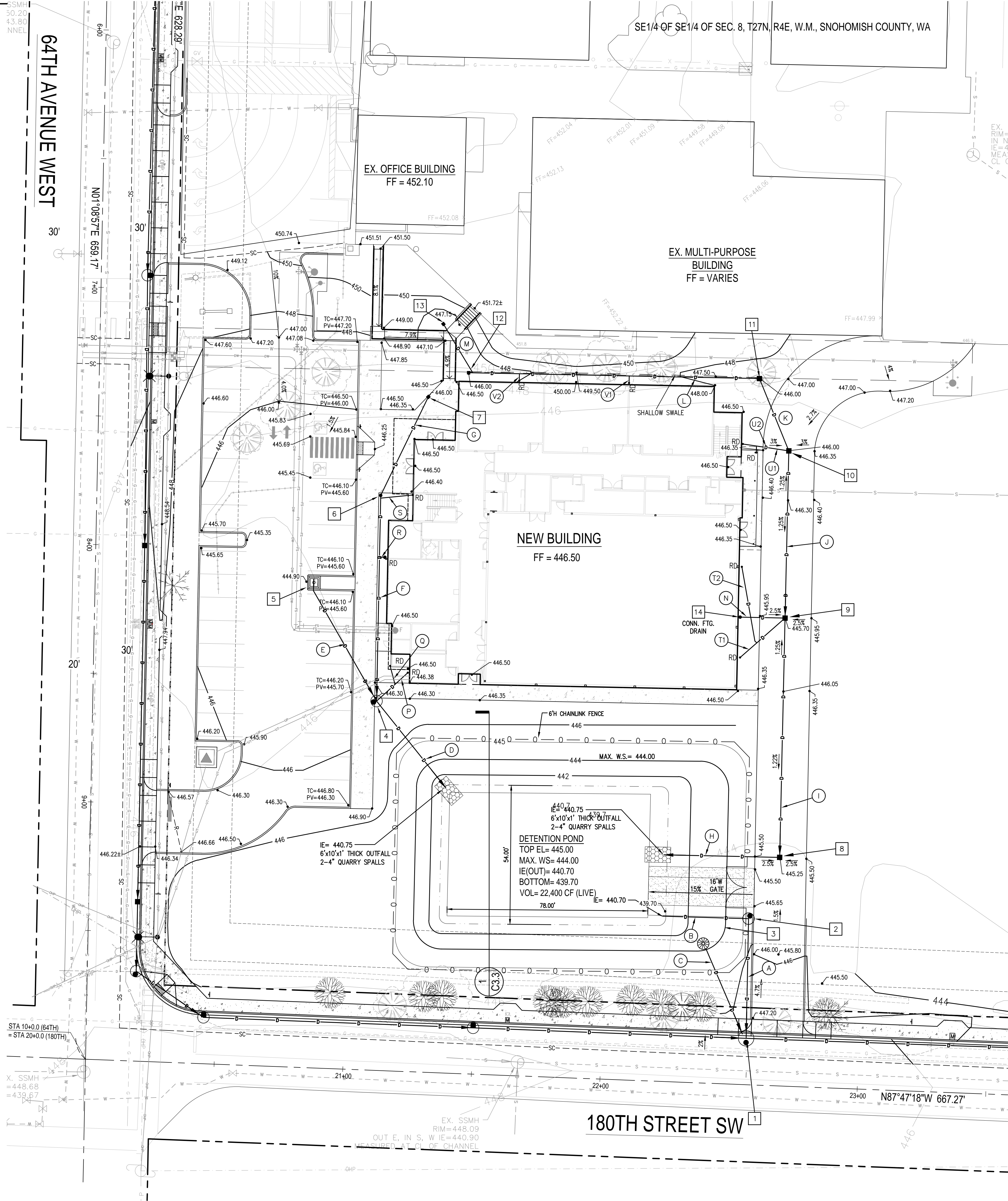
PERMIT SET
SHEET TITLE: COVER SHEET
DATE: 2-11-21
PROJECT NO: 101901
REVISIONS:

AC1



C1.3

File: 20008-CIVL.dwg Date: Feb/11/2021 12:55 PM



STORM STRUCTURE / CLEANOUT SCHEDULE			
CB/CO	TYPE	RIM	IE
1	CB, TY. 2 - 72", SL	447.10	439.88 (12"NW) 439.88 (12"N) 439.88 (12"W,E)
2	CB, TY. 2 - 54", SL CONTROL STRUCT. PER DTL. 4/C3.3	446.00	440.50 (12"W) 440.50 (12"S)
3	CB, TY. 2-54" OVERFLOW PER DTL. 5/C3.3	444.00	440.50 (12"SE)
4	CB, TY. 2 - 54", SL	446.30	441.22 (6"N) 441.05 (8"NW,SE)
5	FILTERRA VAULT PER DTL. 2/C3.4	445.40 FL=444.90	441.40 (8"SE)
6	CLEANOUT	446.10	443.80 (6")
7	AREA DRAIN	446.00	444.50 (4"SW)
8	CB, TY. 1, GR	445.25	441.72 (8"N,W)
9	CB, TY. 1, GR	445.70	442.75 (6"W) 442.55 (6"SW) 442.38 (8"S)
10	CB, TY. 1, GR	446.05	443.00 (6"N) 442.83 (8"S)
11	CB, TY. 1, GR	446.00	443.30 (6"W,S)
12	AREA DRAIN	446.00	444.50 (6"E)
13	AREA DRAIN	446.85	445.35 (4"SE)
14	CLEANOUT CONN. FTG. DRAIN	446.20	443.10 (6"E)

TYPE 1 CATCH BASINS PER CITY DWG. NO. STD4-2
TYPE 2 CATCH BASINS PER CITY STD. DWG. NO. STD4-4
GR= VANED GRATE PER CITY STD. DWG. NO. STD4-8
SL= SOLID LID PER CITY STD. DWG. NO. STD6-6
CLEANOUTS PER DTL. 6/C3.3
AREA DRAINS SHALL BE 12"x12" CONC. BASIN WITH 8"x8" CAST IRON GRATE

STORM PIPE SCHEDULE			
PIPE	DIA / TYPE	LENGTH (FT)	SLOPE
A	12" CPE	46	1.35%
B	12" CPE	33	0.61%
C	12" CPE	40	1.55%
D	8" CPE	43	0.70%
E	8" CPE	50	0.70%
F	6" PVC	80	3.23%
G	4" PVC	42	1.67%
H	8" CPE	45	2.28%
I	8" CPE	93	0.70%
J	8" CPE	65	0.70%
K	6" PVC	30	1.00%
L	6" PVC	113	1.06%
M	4" PVC	23	2% MIN.
N	6" PVC	30	2% MIN.
O	OMITTED		
P	6" PVC	16	2% MIN.
Q	4" PVC	7	2% MIN.
R	6" PVC	2	2% MIN.
S	6" PVC	12	2% MIN.
T1	6" PVC	22	2% MIN.
T2	6" PVC	30	2% MIN.
U1	6" PVC	12	2% MIN.
U2	4" PVC	6	2% MIN.
V1	6" PVC	3	2% MIN.
V2	6" PVC	3	2% MIN.

CPE SHALL BE ADS, N-12 OR EQUAL.
PVC PIPE SHALL BE SDR35
PIPE LENGTHS DIST. TO CTR. OF STRUCTURE, U.N.O.

LEGEND		
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	CONCRETE
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
---	---	SEWER MANHOLE
---	---	STORM CB
---	---	STORM MANHOLE
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL 811'

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phone: 206.923.0590 website: www.terraformdesigngroup.com

PROFESSIONAL ENGINEER
PEDRO A. DEGUARDIA
STATE OF WASHINGTON
NO. 35646
EXPIRATION DATE 12/31/2024

2/11/21

Cornerstone
ARCHITECTURAL GROUP
Phone: 206.682.5000
cornerstonearch.com

6161 NE 175th Street, Suite 101
Kenmore, Washington 98028

PERMIT SET

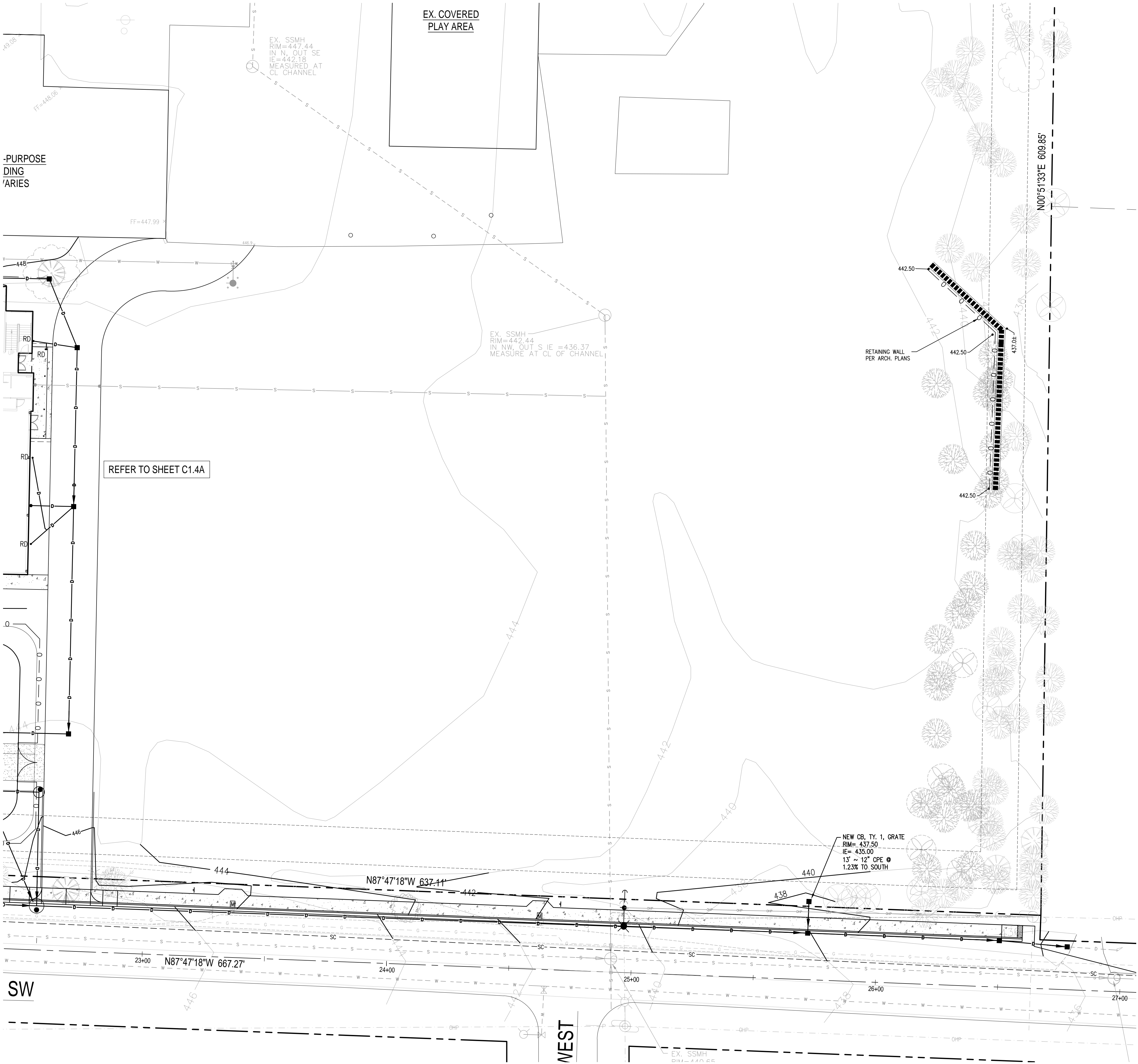
SHEET TITLE:
GRADING & DRAINAGE PLAN

PROJECT NO: 101901

DATE: 2-11-21

REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037



-PURPOSE
DING
'ARIES

REFER TO SHEET C1.4A

EX. COVERED
PLAY AREA

EX. SSMH
RIM=447.44
IN N, OUT SE
IE=442.18
MEASURED AT
CL CHANNEL

EX. SSMH
RIM=442.44
IN NW, OUT S IE=436.37
MEASURED AT CL OF CHANNEL

RETAINING WALL
PER ARCH. PLANS

NEW CB, TY. 1, GRATE
RIM= 437.50
IE= 435.00
13' x 12" CPE @
1.23% TO SOUTH

LEGEND

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---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	CONCRETE
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
---	---	SPOT ELEVATION
---	---	WATER MAIN
---	---	SEWER MAIN
---	---	STORM DRAIN
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	GATE VALVE
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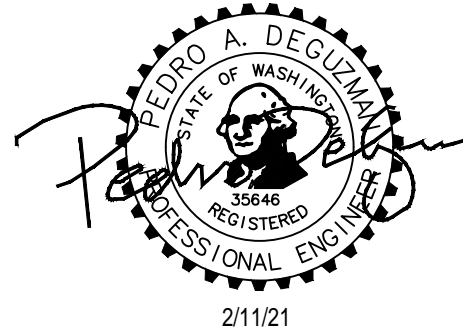
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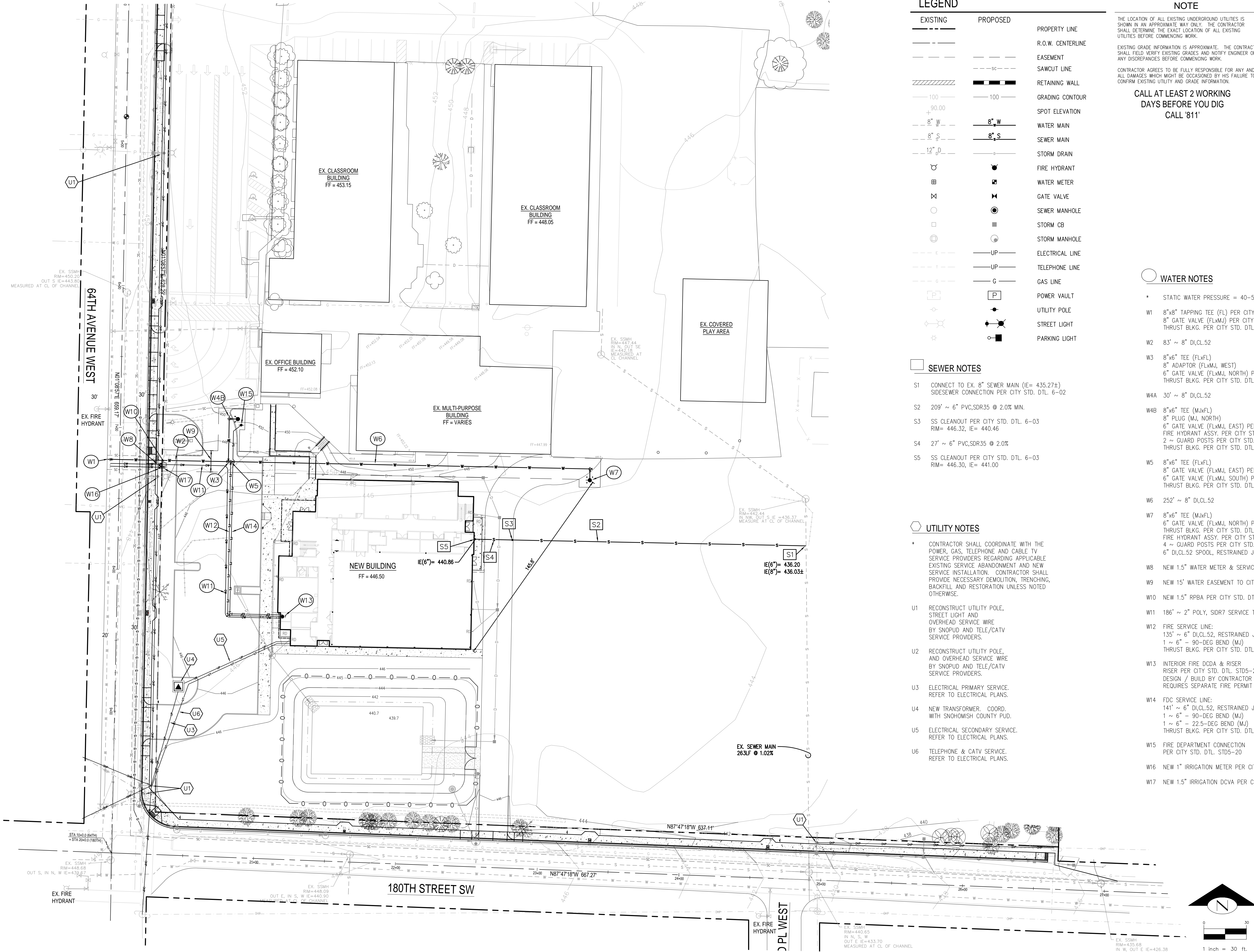


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17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PERMIT SET
SHEET TITLE:
GRADING & DRAINAGE PLAN
PROJECT NO: 101901
DATE: 2-11-21
REVISIONS:

C1.4B



LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	SAWCUT LINE
---	---	RETAINING WALL
---	---	GRADING CONTOUR
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---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

SEWER NOTES

- S1 CONNECT TO EX. 8" SEWER MAIN (IE= 435.27±) SIDSEWER CONNECTION PER CITY STD. DTL. 6-02
- S2 209' ~ 6" PVC,SDR35 @ 2.0% MIN.
- S3 SS CLEANOUT PER CITY STD. DTL. 6-03 RIM= 446.32, IE= 440.46
- S4 27' ~ 6" PVC,SDR35 @ 2.0%
- S5 SS CLEANOUT PER CITY STD. DTL. 6-03 RIM= 446.30, IE= 441.00

UTILITY NOTES

- * CONTRACTOR SHALL COORDINATE WITH THE POWER, GAS, TELEPHONE AND CABLE TV SERVICE PROVIDERS REGARDING APPLICABLE EXISTING SERVICE ABANDONMENT AND NEW SERVICE INSTALLATION. CONTRACTOR SHALL PROVIDE NECESSARY DEMOLITION, TRENCHING, BACKFILL AND RESTORATION UNLESS NOTED OTHERWISE.
- U1 RECONSTRUCT UTILITY POLE, STREET LIGHT AND OVERHEAD SERVICE WIRE BY SNOPOD AND TELE/CATV SERVICE PROVIDERS.
- U2 RECONSTRUCT UTILITY POLE, AND OVERHEAD SERVICE WIRE BY SNOPOD AND TELE/CATV SERVICE PROVIDERS.
- U3 ELECTRICAL PRIMARY SERVICE. REFER TO ELECTRICAL PLANS.
- U4 NEW TRANSFORMER. COORD. WITH SNOHOMISH COUNTY PUD.
- U5 ELECTRICAL SECONDARY SERVICE. REFER TO ELECTRICAL PLANS.
- U6 TELEPHONE & CATV SERVICE. REFER TO ELECTRICAL PLANS.

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WATER NOTES

- * STATIC WATER PRESSURE = 40-50 PSI
- W1 8"x8" TAPPING TEE (FL) PER CITY STD. DTL. 5-11 8" GATE VALVE (FLxMJ) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W2 83' ~ 8" DI,CL.52
- W3 8"x6" TEE (FLxFL) 8" ADAPTOR (FLxMJ, WEST) 6" GATE VALVE (FLxMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W4A 30' ~ 8" DI,CL.52
- W4B 8"x6" TEE (MJxFL) 8" PLUG (MJ, NORTH) 6" GATE VALVE (FLxMJ, EAST) PER CITY STD. DTL. STD5-4A FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 2 ~ GUARD POSTS PER CITY STD. PLAN 5-08 THRUST BLKG. PER CITY STD. DTL. 5-05
- W5 8"x6" TEE (FLxFL) 8" GATE VALVE (FLxMJ, EAST) PER CITY STD. DTL. STD5-4A 6" GATE VALVE (FLxMJ, SOUTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05
- W6 252' ~ 8" DI,CL.52
- W7 8"x6" TEE (MJxFL) 6" GATE VALVE (FLxMJ, NORTH) PER CITY STD. DTL. STD5-4A THRUST BLKG. PER CITY STD. DTL. 5-05 FIRE HYDRANT ASSY. PER CITY STD. PLAN 5-07 4 ~ GUARD POSTS PER CITY STD. DTL. 5-08 6" DI,CL.52 SPOOL, RESTRAINED JOINTS
- W8 NEW 1.5" WATER METER & SERVICE PER CITY STD. DTL. 5-02
- W9 NEW 15' WATER EASEMENT TO CITY OF LYNNWOOD
- W10 NEW 1.5" RPBA PER CITY STD. DTL. 5-12B
- W11 186' ~ 2" POLY, SDR7 SERVICE TO BUILDING
- W12 FIRE SERVICE LINE: 135' ~ 6" DI,CL.52, RESTRAINED JOINTS 1 ~ 6" - 90-DEG BEND (MJ) THRUST BLKG. PER CITY STD. DTL. 5-05
- W13 INTERIOR FIRE DCDA & RISER RISER PER CITY STD. DTL. STD5-21 DESIGN / BUILD BY CONTRACTOR REQUIRES SEPARATE FIRE PERMIT
- W14 FDC SERVICE LINE: 141' ~ 6" DI,CL.52, RESTRAINED JOINTS 1 ~ 6" - 90-DEG BEND (MJ) 1 ~ 6" - 22.5-DEG BEND (MJ) THRUST BLKG. PER CITY STD. DTL. 5-05
- W15 FIRE DEPARTMENT CONNECTION PER CITY STD. DTL. STD5-20
- W16 NEW 1" IRRIGATION METER PER CITY STD. DTL. 5-01
- W17 NEW 1.5" IRRIGATION DCVA PER CITY DTL. DTL. 5-12A

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17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

PERMIT SET
SHEET TITLE:
UTILITY PLAN

DATE: 2-11-21
REVISIONS:

C1.5

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	R.O.W. CENTERLINE
---	---	EASEMENT
---	---	SAWCUT LINE

CHANNELIZATION & SIGNAGE NOTES

- EX. WHITE GORE STRIPE TO BE REMOVED
- NEW WHITE GORE STRIPE PER CITY STD. DTL. STD7-17
- NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A
- RELOCATE EX. CROSSWALK SIGN TO STA 3+35.0, 20.5'L
- GRIND & REMOVE EX. CROSSWALK BARS
- STA 7+16: NEW CROSSWALK BARS PER CITY STD. DTL. STD7-20A
- RELOCATE EX. CROSSWALK SIGN TO STA 7+05.0, 27.0'L
- RELOCATE EX. "25 MPH" SIGN TO STA 9+35.0, 27.0'L
- RELOCATE EX. "STOP" & STREET SIGNS TO STA 20+47.0, 27.0'L
- RELOCATE EX. "SCHOOL ZONE" SIGN TO STA 23+20.0, 27.0'L
- RELOCATE EX. CROSSWALK AHEAD SIGN TO STA 24+70.0, 27.0'L

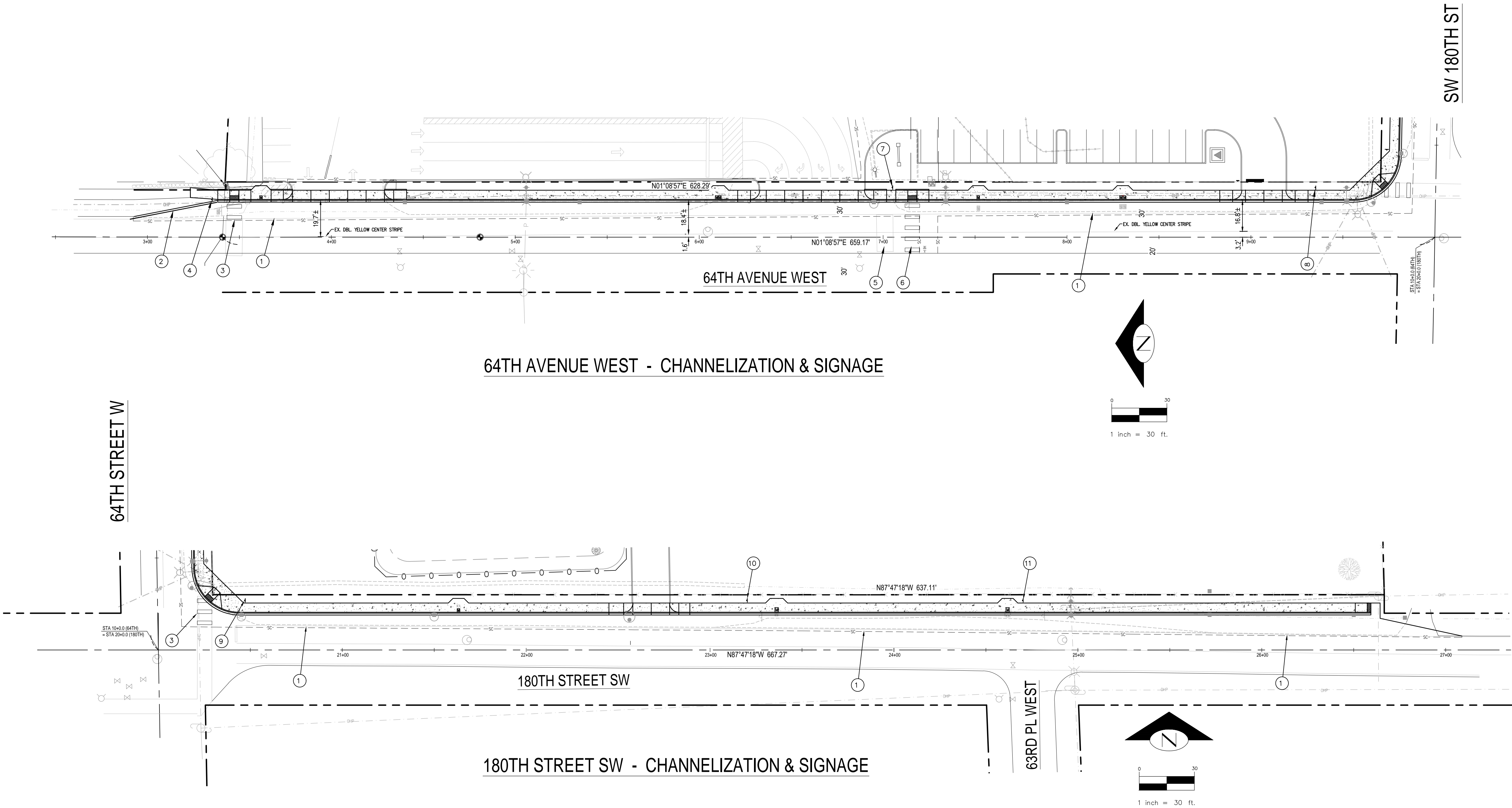
** SIGN INSTALLATION PER CITY STD. DTL. STD7-16 (TYP)



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PERMIT SET

SHEET TITLE:
ROADWAY CHANNELIZATION
& SIGNAGE

DATE: 2-11-21
REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PROJECT NO: 101901

C2.5

LACEY MUNDIPAL CODE: PORTION OF ONLY

- 21.08.300 General landscaping standards.
- A. General Site Preparation.
1. Compacted Soil. During site preparation soil must be loosened or uncompacted in landscape areas where necessary due to compaction. Soil must be uncompacted, at minimum, down to 24 inches below surface grade in any landscape buffer, street frontage, or parking lot landscaping areas. Depth of soil that is loosened or uncompacted may be less if recommended by the qualified landscape professional. Where necessary soil amendments may be added from a verified source.
2. Root Barriers. Trees planted within 10 feet of a public street, sidewalk, paved trail, or walkway must be a deep-rooted species and must be separated from hardscapes by a root barrier to prevent physical damage to public improvements.
3. ~~Alternative Root Diversion. Alternative root diversion and barrier techniques will be considered if the applicant states the root diversion method on the landscape plans and provides a letter and any exhibits from the qualified landscape professional explaining how the method achieves the desired outcome.~~

B. General Plant Standards (Groundcover, Shrubs, and Trees).

1. Plant Selection. Plants must be appropriate for the Puget Sound lowland region. Permitted plants and trees are allowed as described below.
- a. Prohibited Plants. Plants listed by the Washington State Noxious Weed Control Board in their Noxious Weed List or subsequent document, or commonly known as invasive species, are prohibited from being planted in the city.
- b. Permitted Plants. Landscaping materials installed shall include species native to the Puget Sound lowland region of the Pacific Northwest or noninvasive species that have adapted to the climatic conditions of the region. Drought-tolerant or drought-resistant vegetation is preferred.

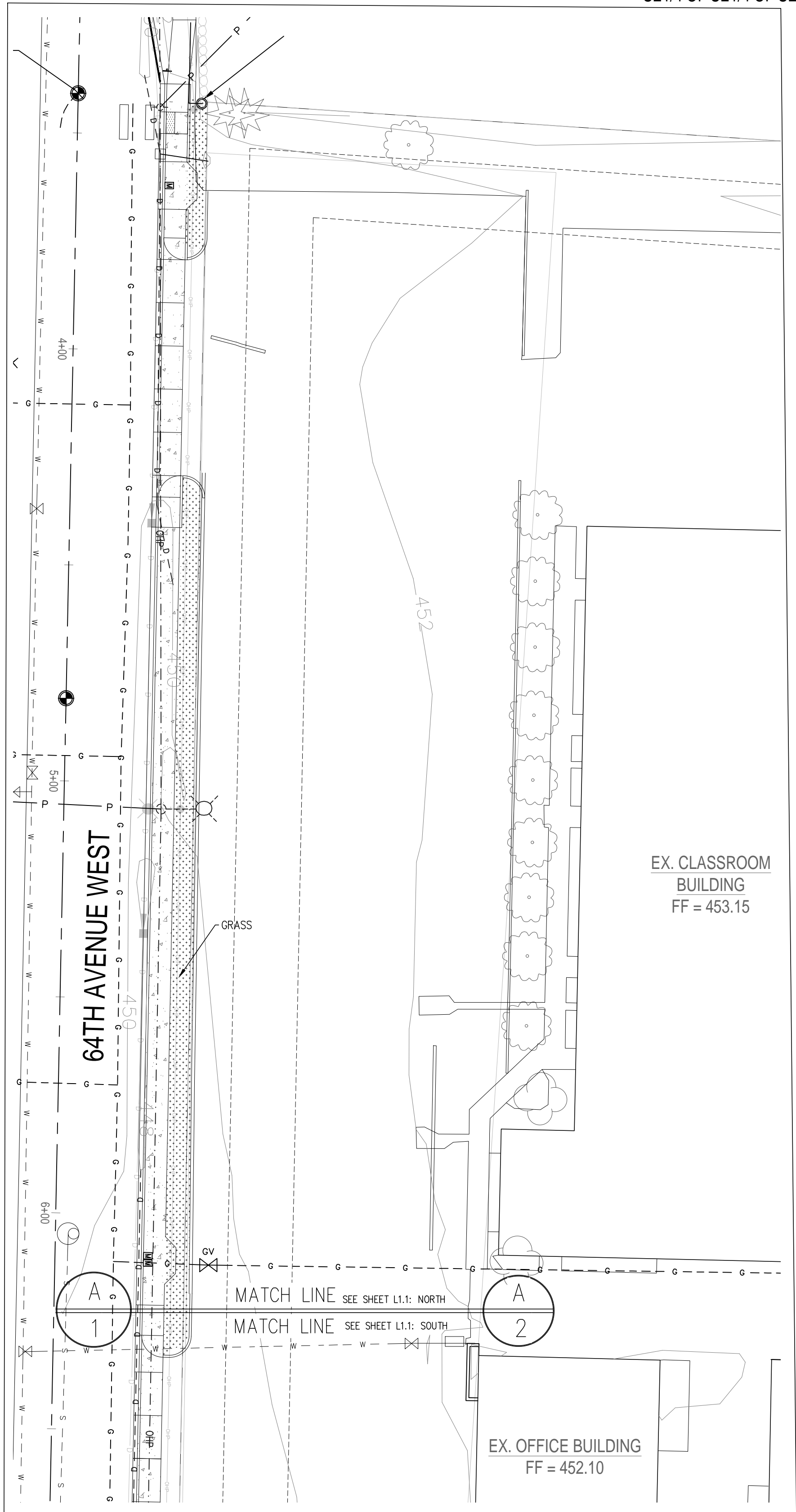
2. Plant Variety. Plant material should include a variety of seasonal colors, forms, and textures that contrast or complement each other with a mixture of evergreen and deciduous trees, shrubs, and groundcover and low-maintenance perennials. Preference must be given to plant material which can be maintained in its natural form without pruning over material requiring regular pruning or plants pruned into artificial shapes. Continuous expanses of uniform landscape treatment along an entire street front should be avoided.
2. Plant Variety. Plant material should include a variety of seasonal colors, forms, and textures that contrast or complement each other with a mixture of evergreen and deciduous trees, shrubs, and groundcover and low-maintenance perennials. Preference must be given to plant material which can be maintained in its natural form without pruning over material requiring regular pruning or plants pruned into artificial shapes. Continuous expanses of uniform landscape treatment along an entire street front should be avoided.
- C. General Tree Standards.

1. Trees must be selected from the city's Tree Preservation and Protection Guidelines and meet the following standards:
- a. A mixture of deciduous and evergreen trees must be planted in all landscaped areas of a site with exceptions noted in the specific landscaping sections of this chapter.
- b. Trees must be suitable to the site and, if applicable, provide adequate screening throughout the entire life of the tree.
- c. Deciduous and evergreen trees must be a minimum of eight feet in height and have a caliper size of at least two inches at time of planting.
- d. Trees must be planted so that, when they reach maturity, there will be a minimum of 10 feet of clearance on-center between trees.
- e. Tree selection within all landscape areas, including street trees, must comply with Snohomish PUD utility requirements, other existing utilities (stormwater, water, and wastewater conveyance systems), lighting, existing and proposed signage, adjacent trees, existing natural features, tree root growth, solar access, planting area width, and overall height of selected trees at maturity.
- f. Trees must be arranged to promote energy conservation wherever practical. This includes using deciduous trees on the south and west sides of buildings to provide shade from summer sun and evergreen trees on the north side of buildings to dissipate effects of winter wind and rain.
- g. Tree branches must be trimmed to provide a minimum of six feet of clearance measured from the ground to the branch to prevent sight and pedestrian obstructions. Tree branches must be trimmed to provide eight feet of clearance when overhanging vehicular use areas.
- h. If more than 10 trees are required to be installed, no more than 40 percent of the new trees may be of a single species. This applies to the new trees to be planted, not to the existing trees on the site.
- i. The specific number of trees required for a landscaped area on a site may be found under the respective section of this chapter.
- j. Trees may be planted in linear rows, staggered rows, or clustered. However, all trees shall be planted a minimum of five feet on-center from back of public sidewalk edge.

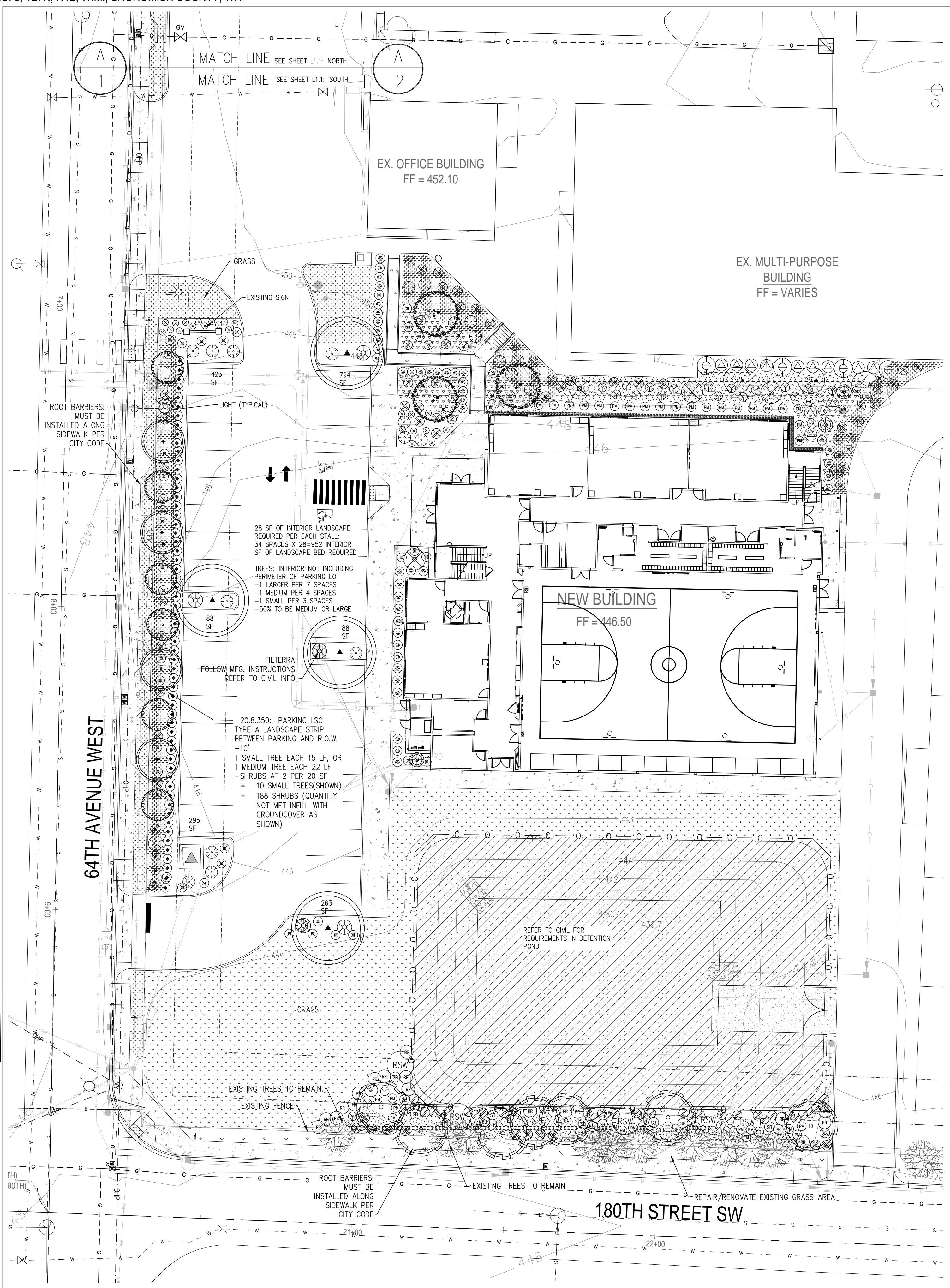
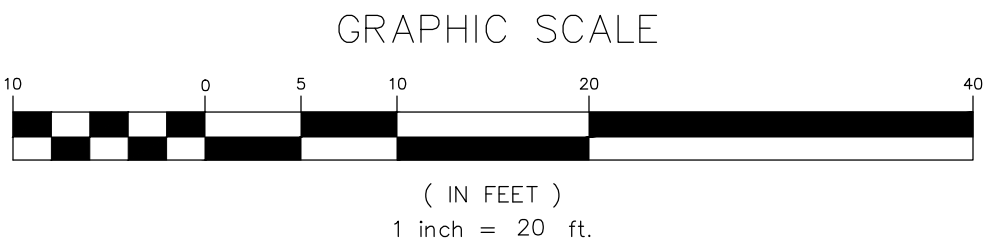
D. General Shrub and Groundcover Standards.

1. Groundcover. All areas of exposed earth not covered by trees or other plants must have living groundcover installed unless otherwise permitted.
2. Motorist Visibility. In driveway and roadway sight triangles and parking lot frontage strips, shrubs and groundcover must be composed of low evergreen shrubs or a mix of evergreen and non-evergreen shrubs with a maximum growth height of three feet.
3. Nonliving Groundcover. Nonliving groundcover (noncompacted, unless a functional part of a LID system) may not be used as living groundcover substitutes. However, up to three percent of the site's entire landscaped area may be landscaped with nonliving groundcover. Nonliving groundcover may not be installed within three feet of pedestrian walkways.
4. Landscape Areas Abutting Parking Stalls. If curbing or wheel stops are installed along an edge of a parking space that abuts a landscaped area, groundcover or plants may be installed adjacent to the stall. Otherwise a minimum area of two feet from the pavement edge shall be free of plants or shrubs. Grasses or groundcover may be planted in this area.

NOTE: ONLY PORTION OF CODE FOR GENERAL INFORMATION ONLY. REFER TO ENTIRE CODE AND CITY COMMENTS FOR ALL REQUIRED INFORMATION.

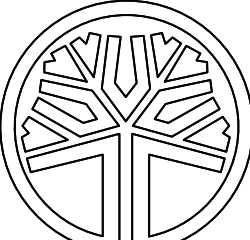
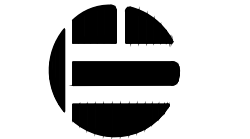


LANDSCAPE PLANTING PLAN :
NORTH



LANDSCAPE PLANTING PLAN:
SOUTH

TERRAFORM
DESIGN GROUP, INC.



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Akemi Sakada
AKEMI RAE SAKADA
CERTIFICATE NO. 794
EXPIRES 06/16/22

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE
5027 51st Avenue SW Seattle WA 98136
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CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

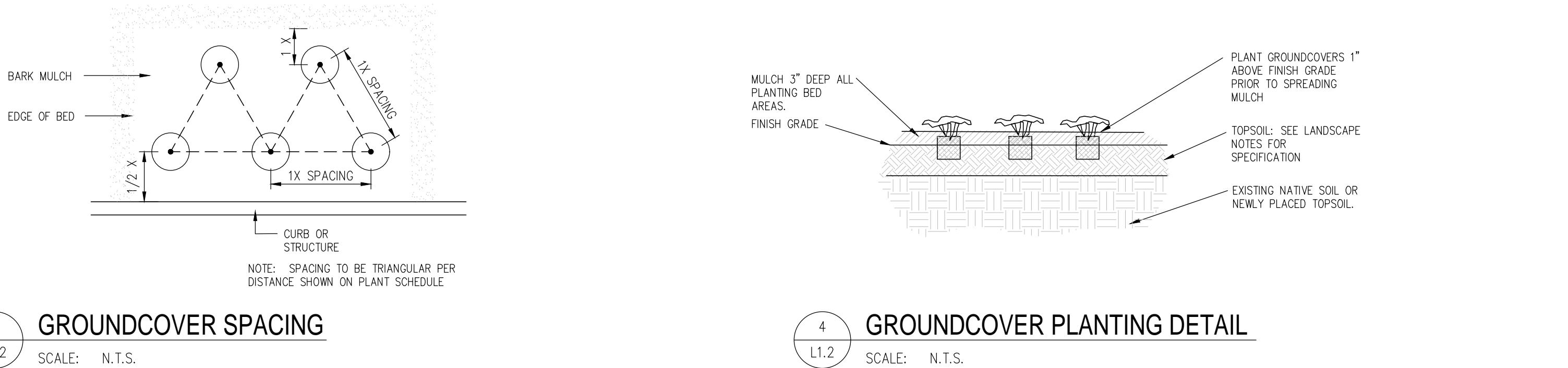
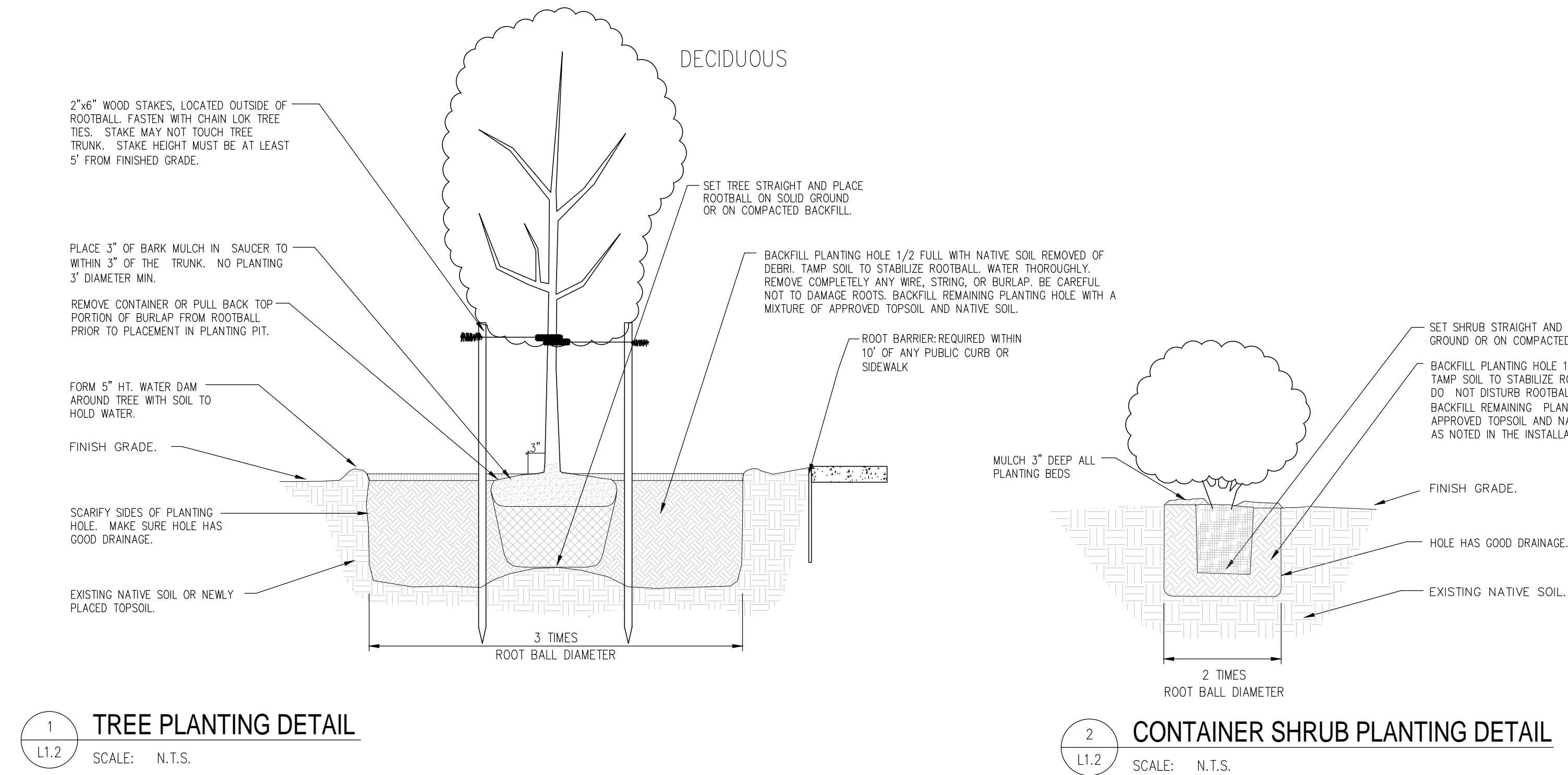
PERMIT SET
SHEET TITLE: LANDSCAPE PLANTING PLAN

PROJECT NO: 101901
DATE: 2-11-21
REVISIONS:

Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com

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L1.1



LANDSCAPE NOTES

GENERAL:

- UTILITY LOCATION: DETERMINE ALL ABOVE GRADE AND UNDERGROUND UTILITIES BEFORE COMMENCING WORK. ALL WORK TO BE COMPLETED TO AVOID ANY DAMAGE. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXISTING VEGETATION AREAS TO RECEIVE NEW LANDSCAPE SHALL BE CLEARED AND GRUBBED FROM THE SITE PRIOR TO COMMENCEMENT OF LANDSCAPE WORK. NOTIFY OWNER REPRESENTATIVE IF THERE IS AN AREA THAT IS NOT DAMAGED AND PLANTS CAN REMAIN THAT IS WITHIN PROJECT LANDSCAPE.
- DO NOT DISTURB ANY TREES OR PLANTS THAT ARE TO REMAIN. PROTECT FROM CONSTRUCTION DAMAGE. REMOVE ANY TREE ROOTS FROM TREES REMOVED. AVOID DISTURBANCE TO EXISTING TREES AND THEIR ROOTS.
- CONTRACTOR SHALL GUARANTEE PLANTS AND GRASS FOR A MINIMUM OF ONE YEAR AFTER APPROVED COMPLETION.
- IMMEDIATELY NOTIFY TERRAFORMA DESIGN GROUP OF ANY ADVERSE CONDITIONS OR CONFLICTS WHICH MAY AFFECT HEALTH OF PLANT MATERIAL.

PLANTING BEDS:

- ALL PLANTING BEDS TO BE NONCOMPACTED TO A DEPTH OF 24" PLANTING BEDS TO HAVE ADDITIONAL APPROVED TOPSOIL OR AMENDED TOPSOIL DEPENDING ON SITE GRADES AFTER CONSTRUCTION. ALLOW FOR AN ADDITIONAL 3" OF COMPOST FOR AMENDMENT INTO EXISTING BEDS, BLENDED INTO THE TOP 8". ALL PLANTING BEDS TO HAVE POSITIVE DRAINAGE. ASSUME 12" APPROVED TOPSOIL FOR NEW PLANTING BEDS.
- CONTRACTOR TO VERIFY PLANT QUANTITIES AND SQUARE FOOTAGE. NOTIFY TERRAFORMA DESIGN GROUP IF THERE IS A DISCREPANCY.
- ALL PLANT MATERIAL TO BE WELL BRANCHED, FREE FROM DISEASE OR PEST, AND HAVE A WELL DEVELOPED ROOT SYSTEM. ALL MATERIAL TO MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT MATERIAL PLANTED TO BE SAME AS OR NO MORE THAN 1" HIGHER THAN CURRENT GROWTH RATE AT FINISH GRADE.
- WATER PLANTS THOROUGHLY DURING PLANTING AND IMMEDIATELY FOLLOWING. WATER HEAVILY AT FIRST, 3 TIMES PER WEEK, AND LESS ONCE ESTABLISHED.
- ALL GRASS/HYDROSEED IS TO BE MAINTAINED AND ESTABLISHED FOR A MINIMUM OF 3 MONTHS BY CONTRACTOR. CONTRACTOR TO REPAIR ANY AREAS WHERE GRASS IS LESS THAN 85% VITALITY DURING WARRANTY PERIOD.
- ORGANIC FINE/MEDIUM DARK MULCH TO BE A MINIMUM OF 3" DEPTH IN ALL PLANTING BEDS.
- STAKES TO BE COMPLETELY REMOVED BY CONTRACTOR PRIOR TO 1 YEAR. CHECK QUARTERLY FOR DAMAGE OR ADJUSTMENTS NEEDED.

IRRIGATION:

- UNKNOWN AT THIS TIME IF THERE IS AN EXISTING SYSTEM.
- IRRIGATION SYSTEM TO BE EITHER DESIGN/INSTALL BY CONTRACTOR OR IRRIGATION PLAN TO BE SUBMITTED ONCE FINAL SITE PLAN AND PLANTING IS APPROVED.
- IRRIGATION IS TO CONFIRM TO ALL CODES AND ADHERE TO INDUSTRY STANDARDS OR BETTER.

SITE CONSTRUCTION:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND LOCATE ANY EXISTING OR PROPOSED UTILITIES. ANY DAMAGE DONE BY NOT LOCATING, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITE INFORMATION, TO INCLUDE BUT NOT LIMITED TO: WORK AREA, EROSION CONTROL, PROTECTION PRACTICES.

NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG

CALL '811'

PLANT SCHEDULE

TREES					
SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	EXISTING TREES				REFER TO SURVEY FOR EXISTING TREE INFORMATION. REFER TO DEMO PLAN, CIVIL, AND XXX FOR INFORMATION ON REMOVAL AND OR PROTECTION OF TREES.
	ACER GRiseum PAPERBARK MAPLE	3	2" CAL. (MIN.)	AS SHOWN (MAX.)	MATCHING FORM, SINGLE TRUNK FOR A MINIMUM OF 18"
	GLEDITSIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	4	2" CAL. (MIN.)	AS SHOWN (MAX.)	MATCHING FORM, LOWEST BRANCHES TO BE 5' MINIMUM CLEAR
	MALUS ADIRONDACK ADIRONDACK CRABAPPLE	6	2" CAL. (MIN.)	AS SHOWN (MAX.)	SINGLE TRUNK, LOWEST BRANCHES TO BE 4' CLEAR MINIMUM
	PRUNUS 'SNOW GOOSE' SNOW GOOSE CHERRY	4	2" CAL. (MIN.)	AS SHOWN (MAX.)	SINGLE TRUNK, LOWEST BRANCHES TO BE 4' CLEAR MINIMUM
	CHAMAECYPARIS OBTUSA GRACILIS SLENDER HINKY CYPRESS	1	8" TALL	AS SHOWN	FULL, BUSHY, STRONGLY UPRIGHT
	THUJA PLICATA WESTERN RED CEDAR	7	8" TALL	AS SHOWN	FULL, BUSHY, STRONGLY UPRIGHT
NOTE: - ALL EVERGREEN TREES MEASURED FROM THE TOP OF GROUND TO UPPER BRANCHES. - ALL TREES TO MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL TREES TO HAVE SINGLE TRUNK AND MATCHING FORM.					
SHRUBS					
SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	CAMELLIA SASANQUA SASANQUA CAMELLIA	4	10 GALLON	AS SHOWN	FULL, WELL SHAPED
	CORNUS 'ARCTIC FIRE' ARCTIC FIRE REDTIG WOOD	12	3 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
	SYRINGA MEYER DWARF LILAC	7	5 GALLON FILTERRA: MAXIMUM SIZE PER MFG	AS SHOWN	FULL, WELL SHAPED CONTRACTOR TO COORDINATE WITH CONTECH FOR FILTERRA
	NANDINA 'GULF STREAM' GULF STREAM NANDINA	45	3 GALLON	AS SHOWN	MULTI- STEM, FULL
	MAHONIA AQUIFOLIUM TALL OREGON GRAPE	37	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
	PIERIS 'FOREST FLAME' FOREST FLAME ANDROMEDA	4	5 GALLON	AS SHOWN	FULL, WELL SHAPED
	PINUS MUGHO PUMILIO DWARF PUMILIO MUGHO PINE	23	3 GALLON	AS SHOWN	FULL, HEALTHY FOLIAGE, STRONG
	PRUNUS LAUROCEASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL	60	3 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
	RIBES SANGUINEUM 'WHITE ICICLE' WHITE FLOWERING CURRANT	8	3 GALLON	AS SHOWN	MULTI-STEM, STRONGLY UPRIGHT
	ROSA RUGOSA 'SCABROSA' RUGOSA ROSE 'SCABROSA'	21	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
	SPIREA LUCIDA SHINYLEAF SPIREA	20	2 GALLON	AS SHOWN	MULTI-STEM, STRONGLY UPRIGHT
	SPIREA 'SHIROBANI' SHIROBANI SPIREA	72	2 GALLON	AS SHOWN	BUSHY, FULL
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	26	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS, FULL, WELL ROOTED

GROUNDCOVER / GRASSES / PERENNIALS

SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	CALLUNA VULGARIS HEATHER	24	1 GALLON	AS SHOWN	FULL: WHITE, OR PURPLE FLOWER OR COLORED FOLIAGE (SPRING TORCH)
	MISCANTHUS ADIAGO ADIAGO DWARF MAIDEN GRASS	55	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
	POLYSTICHUM MUNITOM SWORD FERN	37	1 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
	CAREX 'ICE DANCER' ICE DANCER VARIEGATED SEDGE	90	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	FRAGARIA 'LIPSTICK' LIPSTICK ORNAMENTAL STRAWBERRY	200	4" POTS	30" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	MAHONIA REPENS CREEPING OREGON GRAPE	75	1 GALLON	36" TRIANGULAR	FULL, BUSHY, MULTI-STEM
	GRASS PERENNIAL RYE MIX SOD	2950 SF APPROX.	-	-	NO NET SOD. PROVIDE OPTION TO OWNER REPRESENTATIVE FOR HYDROSEED (COST AND TIME OF YEAR DEPENDANT)
	GRASS HYDROSEED OR PERENNIAL RYE MIX SOD	8050 SF APPROX.	-	-	WITH AMENDED TOPSOIL AND MULCH AND TACKIFIER
	DETENTION POND: REFER TO CIVIL FOR GRASS AND OTHER REQUIREMENTS	11500 SF APPROX.	-	-	
NOTE: - GROUNDCOVER QUANTITY IS APPROXIMATE ONLY. - GROUNDCOVER IS NOT REQUIRED UNDER SHRUB CANOPY OR WITHIN TREE WELL AREAS.					

TERRAFORMA
DESIGN GROUP, INC.

CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE

5027 51st Avenue SW Seattle WA 98136
phone: 206.923.0590 website: www.terraformdesigngroup.com

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Akemi Sakada
AKEMI RAE SAKADA
CERTIFICATE NO. 794
EXPIRES 06/16/22

2/11/21

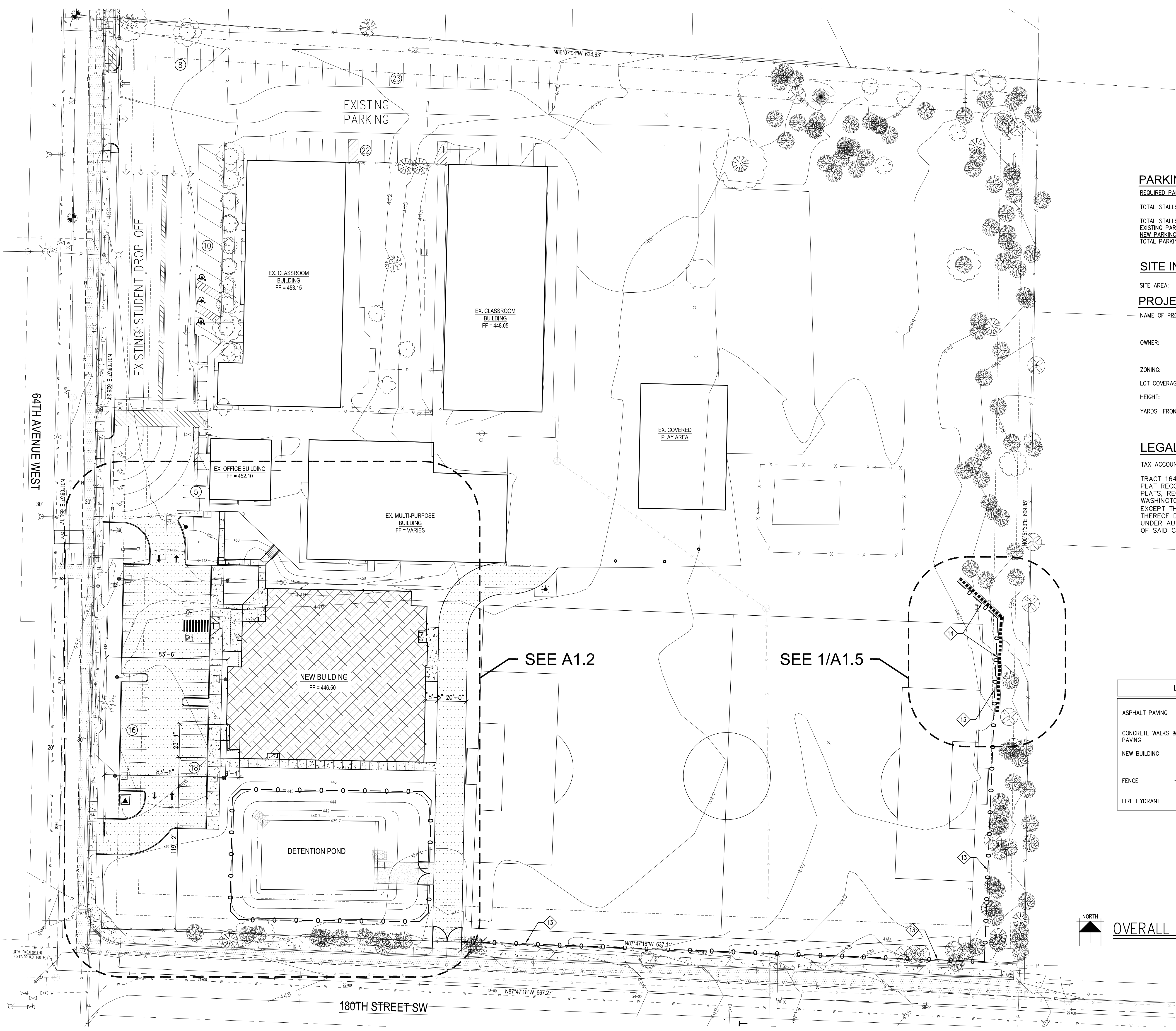
CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

PERMIT SET
SHEET TITLE: PERMIT SUBMITTAL:
LANDSCAPE
LEGEND, NOTES, DETAILS
PROJECT NO: 101901
DATE: 2-11-21
REVISIONS:

Cornerstone
ARCHITECTURAL GROUP
Phone: 206.682.5000
cornerstonearch.com

6161 NE 175th Street, Suite 101
Kenmore, Washington 98028

L1.2



NOTE:
SEE A1.2 FOR SITE PLAN
KEYED NOTES.

PARKING

REQUIRED PARKING (1 STALL/6 STUDENTS):

TOTAL STALLS REQUIRED 600/6 = 100 SPACES

TOTAL STALLS PROVIDED:
EXISTING PARKING: 69
NEW PARKING: 34
TOTAL PARKING: 103

SITE INFORMATION

SITE AREA: 393,356 SF (9.03 ACRES)

PROJECT INFORMATION

NAME OF PROJECT: CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th AVE W
LYNNWOOD, WA. 98037

OWNER: CEDAR PARK CHRISTIAN SCHOOL
16300 112th AVE NE
BOTHELL, WA. 98011

ZONING: RS-8400

LOT COVERAGE: 35%

HEIGHT: 35 FT

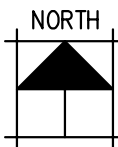
YARDS: FRONT AND REAR YARDS = 25'; SIDEYARDS = 5'

LEGAL DESCRIPTION

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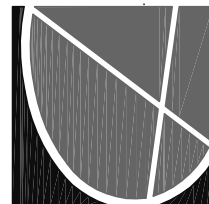
TRACT 164, MEADOWDALE BEACH, AS PER
PLAT RECORDED IN VOL. 5, PAGE 38 OF
PLATS, RECORDS OF SNOHOMISH COUNTY,
WASHINGTON.
EXCEPT THE SOUTH 10' AND THE WEST 10'
THEREOF DEEDED TO SNOHOMISH COUNTY
UNDER AUDITOR FILE NO. 1096468, RECORDS
OF SAID COUNTY.

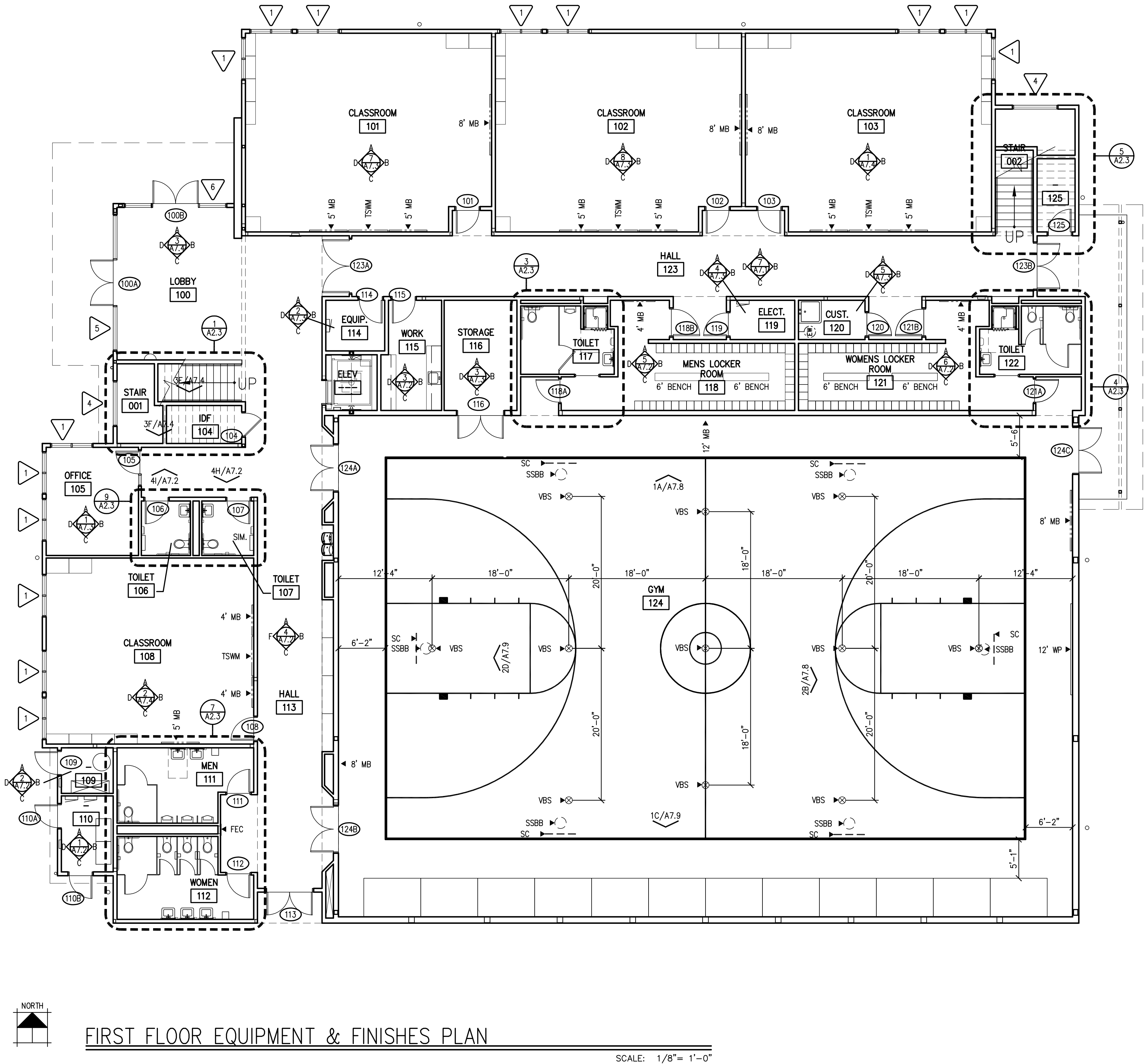
LEGEND	
ASPHALT PAVING	
CONCRETE WALKS & PAVING	
NEW BUILDING	
FENCE	
FIRE HYDRANT	



OVERALL SITE PLAN

SCALE: 1" = 30'





FIRST FLOOR EQUIPMENT & FINISHES PLAN

SCALE: 1/8"= 1'-0"

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AWP-1	1" FABRIC FACES ACOUST. WALL PANEL
AWP-3	2" RIGID FACES ACOUST. WALL PANEL
BOS	BLACK OUT SHADES SEE
BS	2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N)
BR	5' LONG BICYCLE RACKS. SEE 5/A1.6
BLS	2" BLUE STRIPE
CC	CYCLORAMA CURTAIN
CPT	CARPET
DC	DISPLAY CASE.
EM	ENTRY MAT
FAA	FIRE ALARM ANNUNCIATOR
FEB	FIRE EXTINGUISHER AND WALL BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
GS	2" GREEN STRIPE
HO	MAGNETIC HOLD OPEN
ID	INTERCOM DISPLAY
LDB	LOCK DOWN BUTTON
LOC	LOCKERS W/ COMBINATION LOCKS
KB	KNOX BOX
MB	MARKER BOARD
MPROJ	MOTORIZED PROJECTION SCREEN, SEE ELEC.
MS	METAL SHELVING
OH	OTHER HAND
PM	PROJECTOR MOUNT
PMBB	POLE MOUNTED BASKETBALL BACKSTOP (OUTSIDE ONLY)
RS	2" RED STRIPE
RTF	RUBBER TILE FLOOR
SKP	SECURITY KEYPAD
SSBB	SIDE SWING BASKETBALL BACKSTOP
SMBB	SIDE MOUNTED BASKETBALL BACKSTOP
SWP	SLATWALL PANEL
TB	TACKBOARD
TSWM	TOUCH SCREEN WALL MONITOR
VBS	VOLLEYBALL STANDARD SLEEVE
WM	WALL MOUNTED MONITOR
WMCH	WALL MOUNTED COAT HOOKS 6" O.C.
WP	WALL PAD
YS	2" YELLOW STRIPE

LEGEND

LEGEND	
	FIRE EXTINGUISHER W/ CABINET PER DETAIL 5/A10.2
	FIRE EXTINGUISHER SURFACE MOUNTED
	FOR SIGNS, SEE SIGN SCHEDULE
	INTERIOR ELEVATIONS
	DOOR NUMBERS
	ROOM NAME/NUMBER
	DECORATIVE STEEL PANEL

NOTES

- SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR & WINDOW TYPES.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE WAINSCOT AROUND ALL SERVICE SINKS, TYP.
- ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS

PERMIT SET
SHEET TITLE: FIRST FLOOR
EQUIPMENT & FINISHES
PLAN

DATE: 2-11-21
REVISIONS:

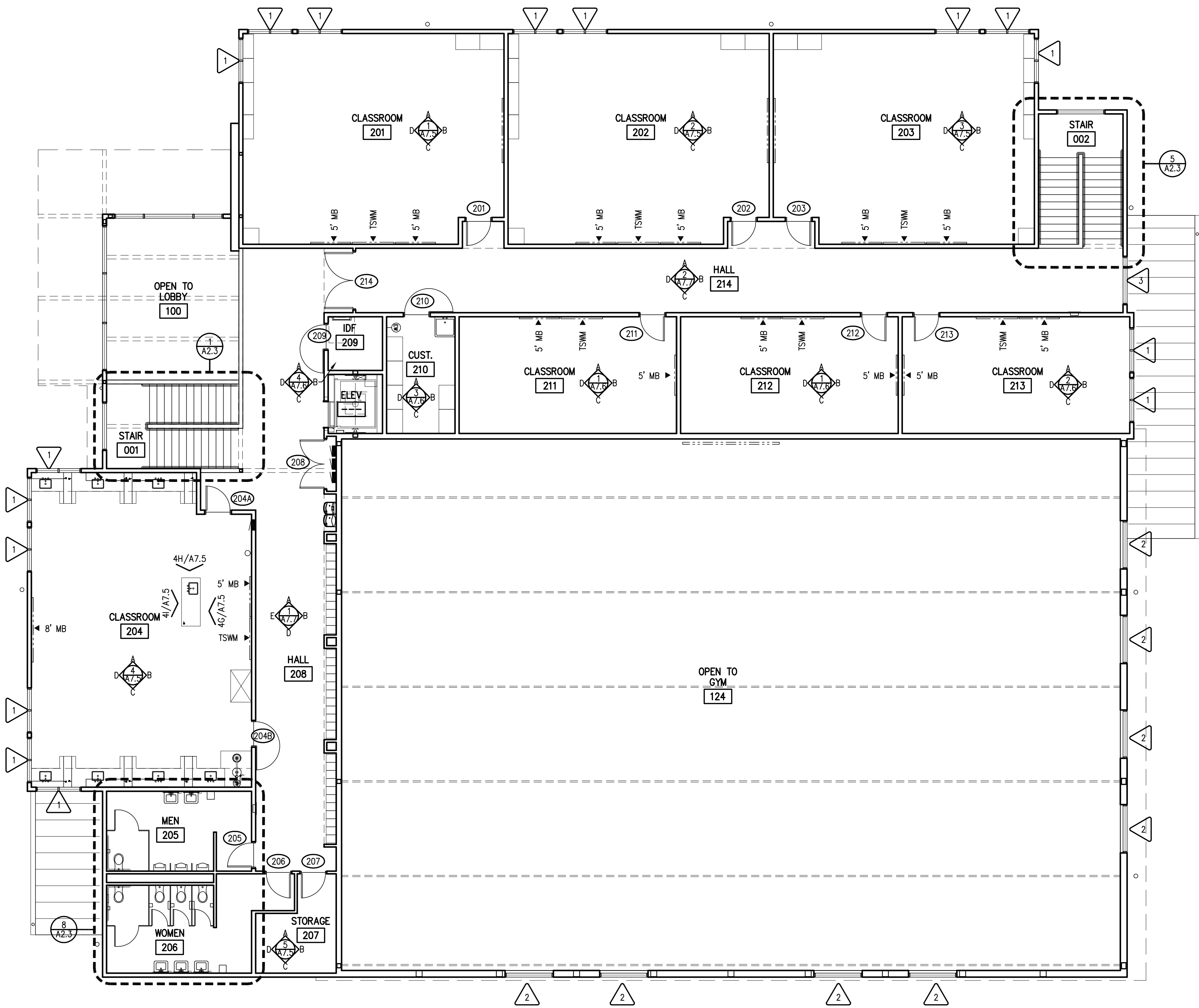
PROJECT NO: 101901

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

3954
REGISTERED
ARCHITECT
STEVEN A. BARNES
STATE OF WASHINGTON

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Phone: 206.682.5000
cornerstonearch.com

Cornerstone
ARCHITECTURAL GROUP



SECOND FLOOR EQUIPMENT & FINISHES PLAN

SCALE: 1/8" = 1'-0"

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AWP-1	1" FABRIC FACES ACOUST. WALL PANEL
AWP-3	2" RIGID FACES ACOUST. WALL PANEL
BOS	BLACK OUT SHADES SEE
BS	2" BLACK STRIPE (ALL LINES IN GYM ARE "BS" U.O.N)
BR	5' LONG BICYCLE RACKS. SEE 5/A1.6
BLS	2" BLUE STRIPE
CC	CYCLORAMA CURTAIN
CPT	CARPET
DC	DISPLAY CASE.
EM	ENTRY MAT
FAA	FIRE ALARM ANNUNCIATOR
FEB	FIRE EXTINGUISHER AND WALL BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
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LDB	LOCK DOWN BUTTON
LOC	LOCKERS W/ COMBINATION LOCKS
KB	KNOX BOX
MB	MARKER BOARD
MPROJ	MOTORIZED PROJECTION SCREEN, SEE ELEC.
MS	METAL SHELVEING
OH	OTHER HAND
PM	PROJECTOR MOUNT
PMBB	POLE MOUNTED BASKETBALL BACKSTOP (OUTSIDE ONLY)
RS	2" RED STRIPE
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SMBB	SIDE MOUNTED BASKETBALL BACKSTOP
SWP	SLATWALL PANEL
TB	TACKBOARD
TSWM	TOUCH SCREEN WALL MONITOR
VBS	VOLLEYBALL STANDARD SLEEVE
WM	WALL MOUNTED MONITOR
WMCH	WALL MOUNTED COAT HOOKS 6" O.C.
WP	WALL PAD
YS	2" YELLOW STRIPE

LEGEND

LEGEND	
	FIRE EXTINGUISHER W/ CABINET PER DETAIL 5/A10.2
	FIRE EXTINGUISHER SURFACE MOUNTED
	FOR SIGNS, SEE SIGN SCHEDULE
	INTERIOR ELEVATIONS
	DOOR NUMBERS
	ROOM NAME/NUMBER
	DECORATIVE STEEL PANEL

NOTES

- SEE SHEETS A6.1 AND A6.2 FOR ROOM FINISH & DOOR SCHEDULES, DOOR & WINDOW TYPES.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL TACKBOARDS, ACOUSTICAL WALL PANELS, ETC.
- PROVIDE CORNER GUARDS ON ALL OUTSIDE CORNERS.
- SEE A7 SHEETS FOR STANDARD MOUNTING HEIGHTS DETAIL & INTERIOR ELEVATIONS. 4' HIGH PLASTIC LAMINATE. WAINSCOT AROUND ALL SERVICE SINKS, TYP.
- ALL INTERIOR & EXTERIOR WINDOWS OR RELIGHTS TO HAVE BLINDS

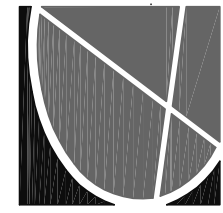
PERMIT SET
SHEET TITLE: SECOND FLOOR
EQUIPMENT & FINISHES
PLAN

DATE: 2-11-21
REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS

17931 64th Ave W

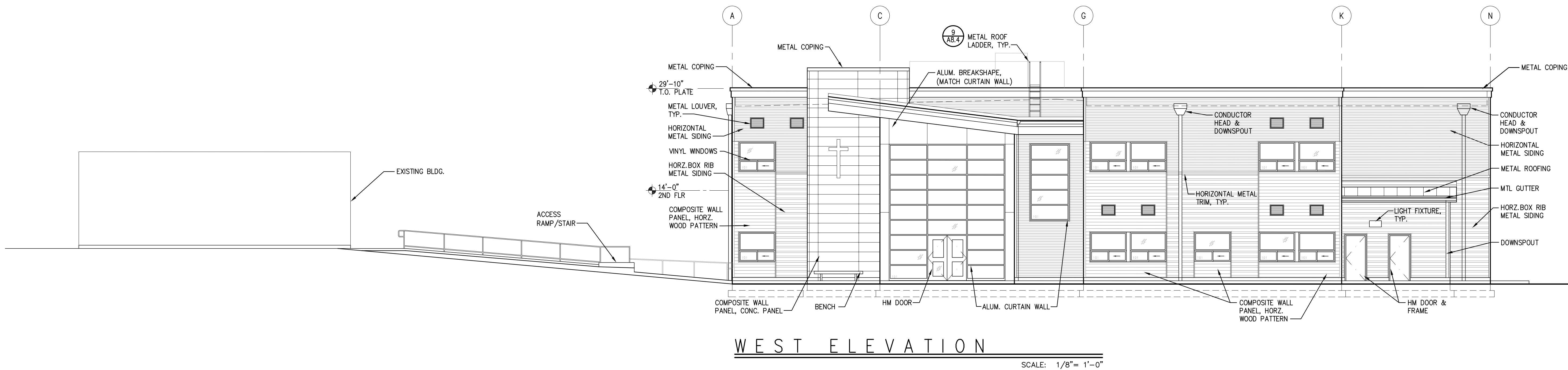
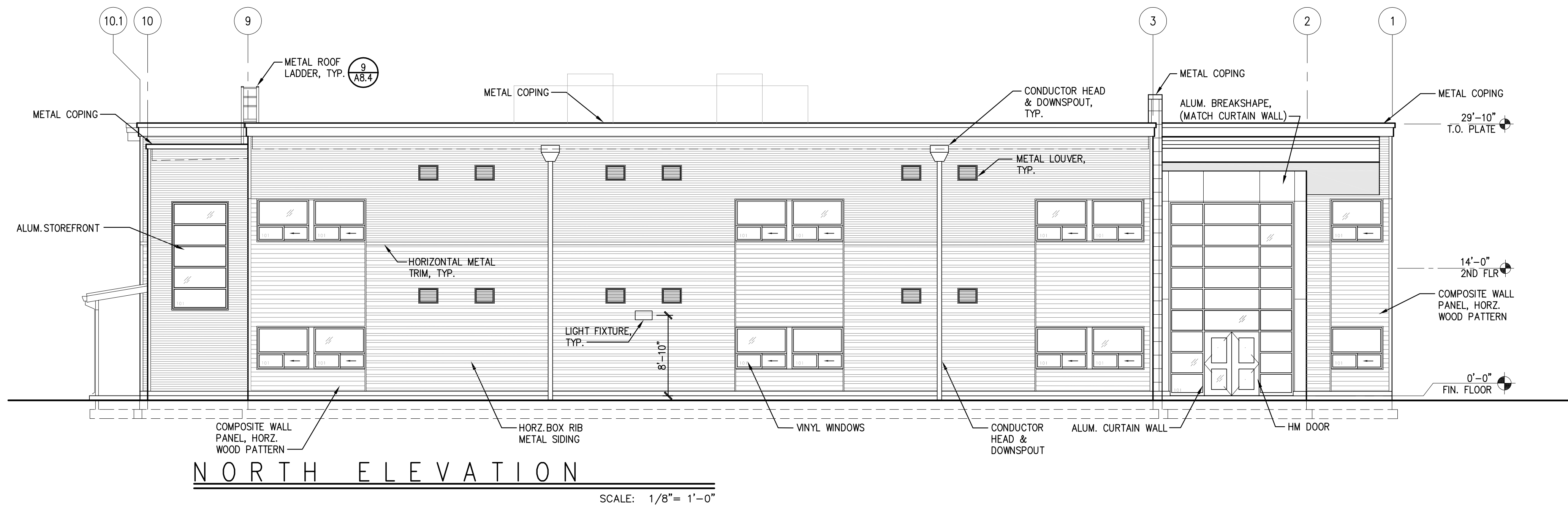
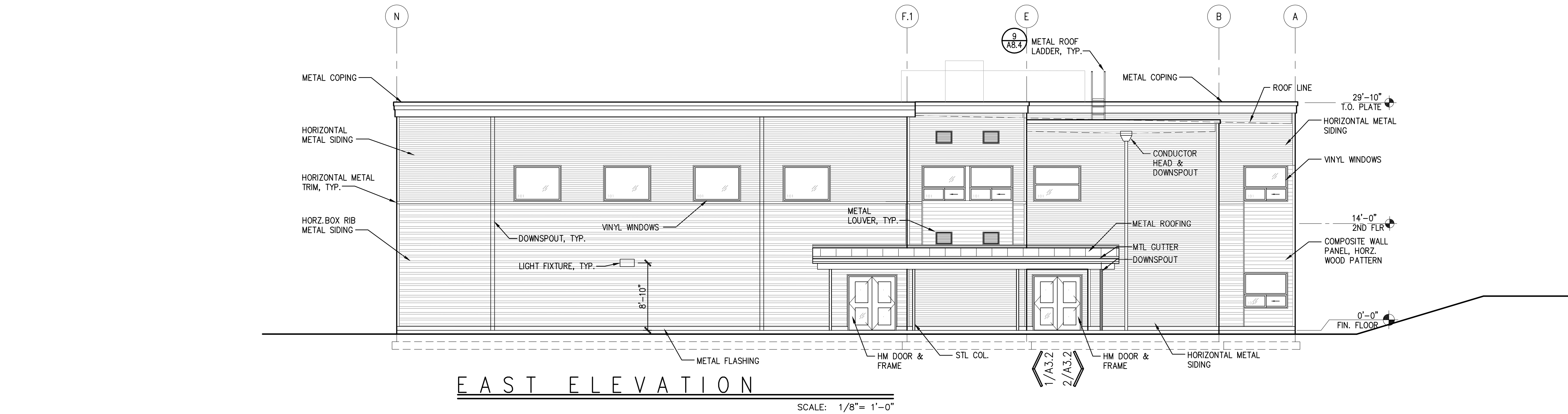
LYNNWOOD, WASHINGTON 98037



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STEVEN A. BARNES
STATE OF WASHINGTON

Cornerstone
ARCHITECTURAL GROUP
6161 NE 175th Street, Suite 101
Kenmore, Washington 98028
Phone: 206.682.5000
cornerstonearch.com



MATERIAL SCHEDULE

MISCELLANEOUS

MTL CONNECTORS & EXPOSED STEEL:	TBD
VINYL WINDOWS	TBD

METAL SIDING & ROOFING

HORIZONTAL MTL SIDING:	NUWAVE
HORIZONTAL BOX RIB MTL SIDING:	HR36 REVERSED
METAL COPING:	TBD
MTL GUTTERS & FASCIA:	TBD

PAINT COLORS

METAL LOUVERS:	TBD
STEEL COLS., BEAMS & CONNECTORS:	TBD
HM DOORS & FRAMES:	TBD

NOTES

1. SACK ALL EXTERIOR CONCRETE WALLS & BASES.
2. AT METAL SIDING CORNER TRIM & VERTICAL HORIZONTAL TRIM IS SAME COLOR AS SIDING. SEE 1/A10.3.
3. METAL LOUVERS SEE LOUVER TYPES A6.2.
4. WINDOWS SEE WINDOW TYPES A6.2.
5. METAL SIDING & TRIM SEE DETAILS 1/A10.3.
6. COMPOSITE WALL PANEL SIDING SEE DETAIL 11/A10.3.

PERMIT SET

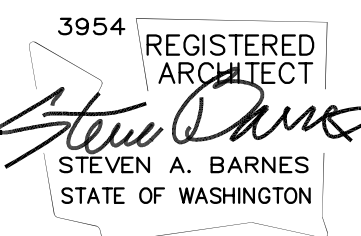
SHEET TITLE: EXTERIOR ELEVATIONS

DATE: 2-11-21

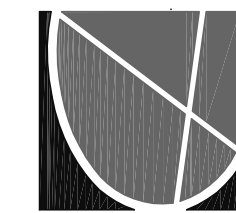
PROJECT NO: 101901

REVISIONS:

CEDAR PARK SCHOOLS- LYNNWOOD CAMPUS
17931 64th Ave W
LYNNWOOD, WASHINGTON 98037

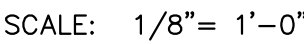


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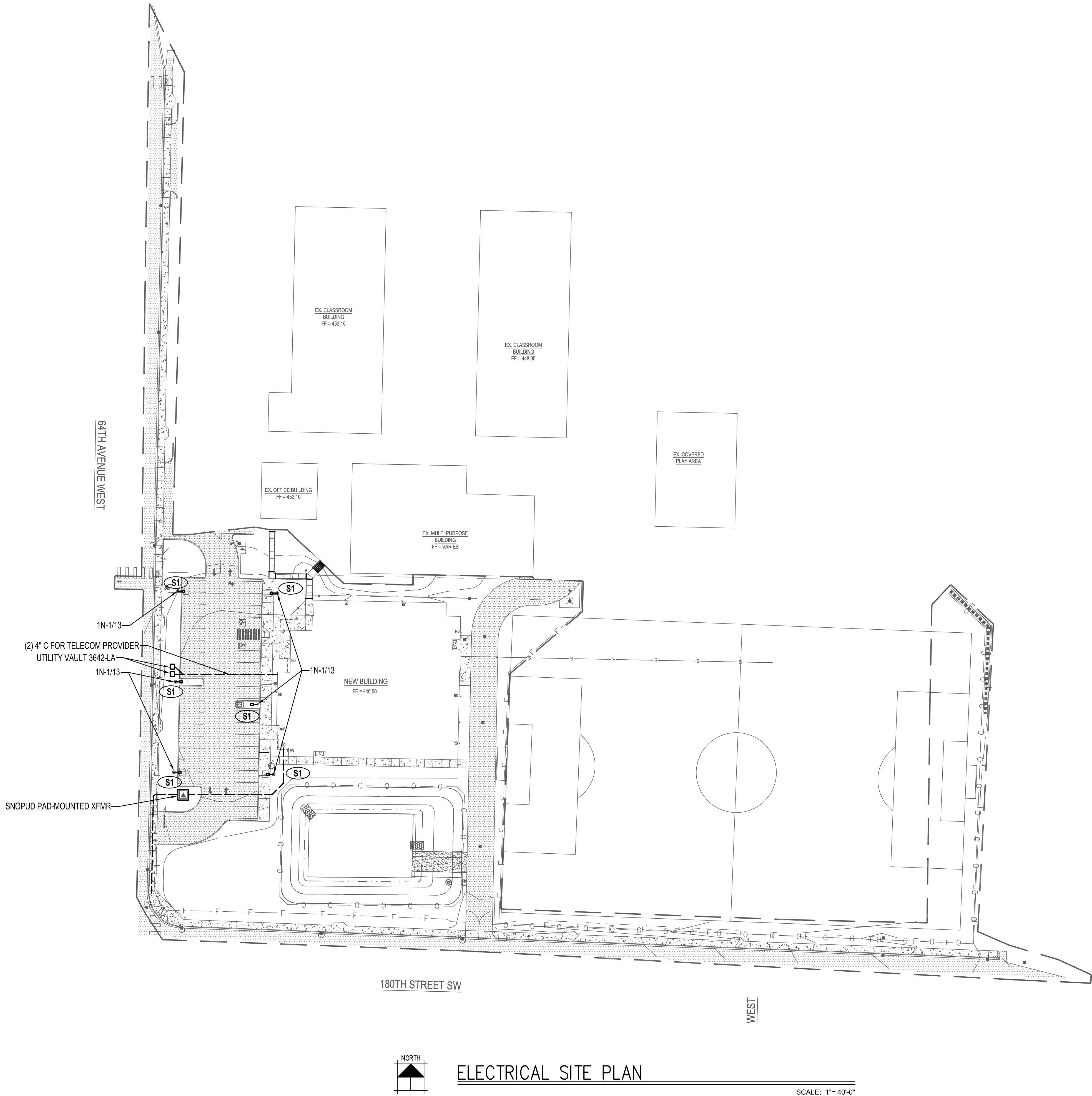


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A3.1



1. SACK ALL EXTERIOR CONCRETE WALLS & BASES.
2. AT METAL SIDING CORNER TRIM & TYPICAL HORIZONTAL TRIM IS SAME COLOR AS SIDING SEE 1/A10.3.
3. METAL LOUVERS SEE LOUVER TYPES A6.2.
4. WINDOWS SEE WINDOW TYPES A6.2.
5. METAL SIDING & TRIM SEE DETAILS 1/A10.3.
6. COMPOSITE WALL PANEL SIDING SEE DETAIL 11/A10.3.



SITE LIGHT FIXTURE



100% SET

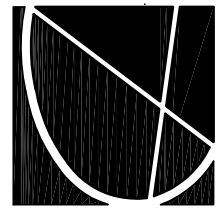
SHEET TITLE: ELECTRICAL SITE PLAN

DATE: 2-25-21

PROJECT NO: 101901

REVISIONS:

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